

JEROME COUNTY BUILDING DEPARTMENT

MANUFACTURED HOME STANDARD BLOCK SET

BUILDING AND ZONING PERMIT CHECKLIST

*ALL ITEMS WITH AN ASTERIC ARE REQUIRED, ALL OTHER ITEMS ARE SPECIFIC TO THE PROJECT- PLEASE CHECK WITH STAFF TO DETERMINE ALL OTHER NECESSARY REQUIREMENTS

Permit # Staff Initials:

NAME: _____

PARCEL and/or ADDRESS: _____

REQUIRED PAPERWORK:

- * _____ Building and Zoning Permit Application
- * _____ Summary Sheet (Assessor's Office)
- * _____ Residential Plans:
- * _____ Commercial Plans (3 Sets)
- * _____ Property Deed _____ Subdivision Plat
- * _____ Title

AGENCY LETTERS:

- * _____ Health Department
_____ Permit # or Letter
- _____ Highway Department
- _____ Fire Department (150' +Fire Dept Ltr Required)
- * _____ Canal Company _____ (Name i.e. NSCC)
- Other _____

_____ *Site Plan (2)

- _____ Scale
- _____ North Arrow
- _____ Property Lines w/dimensions
- _____ Proposed & Existing Structures
- _____ Square Footage of Proposed Structure
- _____ Distances Between Structures
- _____ Setbacks of Buildings to Property Lines
- _____ Location of Well, Septic, Drain Field
- _____ Location of Existing/Proposed Access
- _____ Road Name at Point of Access
- _____ Location of Easements (i.e. power, water, road, access)
- _____ Parking
- _____ Canals Ditches, Irrigation
- _____ Site Drainage System
(including drainage away from the building and any swale or retention area for on-site storage of surface water)

Roadway Public _____ Private _____

Address #'s Posted: Yes____ No____

Setbacks

Front _____ Right _____ Rear _____ Left _____

Manufactured Home Dimensions _____x_____

VIN # _____

Year _____

ZONING REVIEW _____	DIVISIONS OF PROPERTY ____/____/____
<u>FEES PAID:</u>	<u>TO INSPECTOR</u>
BUILDING PERMIT ____/____/____	\$ 200.00 Rcpt. # _____
ADDRESS LETTERS ____/____/____	\$ _____ Rcpt. # _____

JEROME COUNTY BUILDING AND ZONING PERMIT

Block Set

RECEIVED BY DATE	ZONING DISTRICT	RP	PERMIT #						
1 LEGAL DESCRIPTION	SECTION	TOWNSHIP	RANGE	PARCEL #	SUBDIVISION NAME	BLOCK	LOT	ACRES	
JOB ADDRESS						New	<input type="checkbox"/>	Existing	<input type="checkbox"/>
						Private	<input type="checkbox"/>	Commercial	<input type="checkbox"/>
2 PROPERTY OWNER	MAIL ADDRESS				ZIP	PHONE			
3 CONTRACTOR	MAILING ADDRESS				ZIP	PHONE		REGISTRATION # EXPIRATION DATE	
4 ARCHITECT OR DESIGNER	MAIL ADDRESS				ZIP	PHONE			
5 ENGINEER	MAIL ADDRESS				ZIP	PHONE			
6 PRESENT, EXISTING USE					7 PROPOSED USE				
8 NUMBER OF OFF STREET PARKING SPACES					9 RESIDENTIAL _____	COMMERCIAL _____			
10 VIN # AND YEAR					11 BUILDING HEIGHT FROM GROUND TO ROOF LINE				
<p>A) It shall be the duty of the permit holder or their agent to notify the building official that such work is ready for inspection and to comply with the current building codes.</p> <p>B) No building or structure shall be occupied until the building official has issued a certificate of occupancy.</p> <p>C) Every permit shall become invalid if the work authorized by such permit is suspended or abandoned for a period of 180 days.</p> <p>D) It shall be the responsibility of the owner or authorized agent to provide surface drainage to an approved point of collection so as to not create a hazard for structures on adjacent properties, and to grade lots so as to drain surface water away from foundation walls minimum 6" in 10'.</p>									
<ul style="list-style-type: none"> THIS PERMIT IS ISSUED SUBJECT TO THE REGULATIONS CONTAINED IN THE BUILDING CODE AND IT IS HEREBY AGREED THAT THE WORK TO BE DONE AS SHOWN IN THE PLANS AND SPECIFICATIONS WILL BE APPLICABLE THERETO. THE BUILDING OFFICIAL RESERVES THE RIGHT TO REVOKE ANY BUILDING PERMIT THAT IS ISSUED IN ERROR OR ON THE BASIS OF INCORRECT INFORMATION. EXPIRATION AS PER THE 2009 IBC R105.5 WORK MUST COMMENCE WITHIN 180 DAYS AND MAY NOT BE SUSPENDED OR ABANDONED FOR MORE THAN 180 DAYS WITHOUT WRITTEN REQUEST OF APPLICANT AND WRITTEN APPROVAL OF THE BUILDING OFFICIAL. IN MAKING THIS APPLICATION, THE APPLICANT REPRESENTS THAT ALL STATEMENTS ARE A TRUE DESCRIPTION OF THE PROPOSED USES AND / OR BUILDINGS AND THAT ALL PROVISIONS OF THE LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. SEPARATE PERMITS ARE REQUIRED FOR ELECTRICAL AND PLUMBING FROM THE IDAHO DEPT. OF LABOR AND INDUSTRIAL SERVICES. MECHANICAL PERMITS ARE AVAILABLE AT THE JEROME COUNTY BUILDING DEPT. 									
<p style="color: red; margin: 0;">24 HOUR NOTICE REQUIRED FOR INSPECTIONS</p> <p style="color: red; margin: 0;">(208)324-9262 SITING, FOOTINGS, FOUNDATIONS, MECHANICAL, FRAMING, INSULATION, SHEETROCK, FINAL</p> <p style="color: red; margin: 0;">(800) 839-9293 ELECTRICAL (STATE OF IDAHO)</p> <p style="color: red; margin: 0;">(208) 886-2516 PLUMBING (STATE OF IDAHO)</p>						<p>_____ SIGNATURE</p> <p>_____ PLEASE PRINT YOUR NAME</p> <p><input type="checkbox"/> OWNER <input type="checkbox"/> CONTRACTOR/AGENT</p>			
DEPARTMENT USE ONLY									
ZONING AT SITE: _____ COMPLIANCE: _____ FLOOD ZONE: _____ SET BACK COMPLIANCE: _____									
OTHER PERMITS REQUIRED: _____ P&Z HEARING: _____									
DATE: _____ BY: _____						APPROVAL		DENIAL	
OCCUPANCY				TOTAL SQUARE FEET			# of DU's		
FIRST FLOOR _____			SECOND FLOOR _____		BASEMENT _____		GARAGE / STORAGE _____		
Health District Septic Permit # _____			City Sewer and Water Permit # _____						
<p>_____ SIGNATURE OF BUILDING OFFICIAL</p> <p>THIS BUILDING PERMIT DOES NOT BECOME VALID UNTIL SIGNED BY THE BUILDING OFFICIAL AND FEES ARE PAID</p>									
CC : ASSESSOR'S OFFICE						REVISED 2/24/12			

INSPECTION CRITERIA

1. ALL REQUIRED INSTALLATION, ELECTRIC AND PLUMBING PERMITS HAVE BEEN OBTAINED.
2. ALL ELECTRICAL AND PLUMBING CONNECTIONS SHALL BE INSPECTED BY THE STATE.
3. MINIMUM SETBACK REQUIREMENTS ARE COMPLIED WITH.
4. PIERS, PARTICULARLY WITH RESPECT TO SIZE AND SPACING.
5. TIE-DOWN ATTACHMENTS.
6. UNDER FLOOR ACCESS.
7. UNDER FLOOR VENTILATION PROVISIONS.
8. DRYER EXHAUST DUCTED THROUGH FOUNDATION.
9. DUCT CROSSOVERS, TO ENSURE THEY HAVE BEEN INSTALLED IN COMPLIANCE WITH THE MANUFACTURER'S INSTRUCTION.
10. LANDINGS, STAIRS, GUARDS & HANDRAILS (WHERE APPLICABLE)
11. SITE GRADING AND DRAINAGE

MOBILE HOMES OLDER THAN 1976

In order to insure a continued supply of safe, affordable housing, the state of Idaho adopted a rehabilitation program for existing mobile homes constructed prior to June 15, 1976. It is legislative intent that the relocation and installation of these homes be approved when the rehabilitation on the home has been completed and proof of compliance has been issued by the administrator of the division of Building Safety of the State of Idaho. (208) 334-3896.

REHABILITATION REQUIREMENTS

1. Smoke Alarms installed in each sleeping room and outside each sleeping area in the immediate vicinity of the bedrooms.
2. The walls, ceilings and doors of each compartment containing a gas fired furnace or water heater shall be lined with at least five sixteenth (5/16) inch gypsum board, unless the door opens to the exterior of the home, in which case, the door may be all metal construction. All exterior compartments shall seal to the interior of the home.
3. Each room designated, expressly for sleeping purposes shall have at least one egress door or window to the outside with a minimum clear dimension of twenty-two inches and a minimum clear opening of five square feet. The bottom of the exit shall not be more that thirty-six inches above the floor.
4. Electrical, Gas, Water, Sewer Inspections and any necessary repairs must be performed by a person or company properly licensed and authorized to perform the work under Idaho law, with the person or company performing the inspections and repairs to be noted on the rehabilitation form (See sample form in this packet)

DIVISION OF BUILDING SAFETY
 MANUFACTURED HOUSING SECTION
 1090 E Watertower St
 Meridian, ID 83642

FOR DIVISION USE ONLY Compliance Certificate Issued By: _____ Title: _____ Date: _____
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MOBILE HOME REHABILITATION CHECKLIST—COMPLIANCE CERTIFICATE (TITLE 44 CHAPTER 25 IDAHO CODE)

These rehabilitation/testing requirements are applicable only to non-HUD mobile homes manufactured prior to June 15, 1976. Separate permits and inspections may be required for any repairs made to plumbing or electrical systems. Additional permits may be required by the local authority having jurisdiction in order to do any work or make any repairs on the mobile home not involving plumbing or electrical systems. You should check with your local building department to determine the need for permits and inspections before initiating any repair work or before installing your mobile home at a new site.

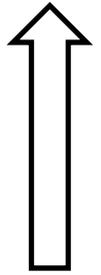
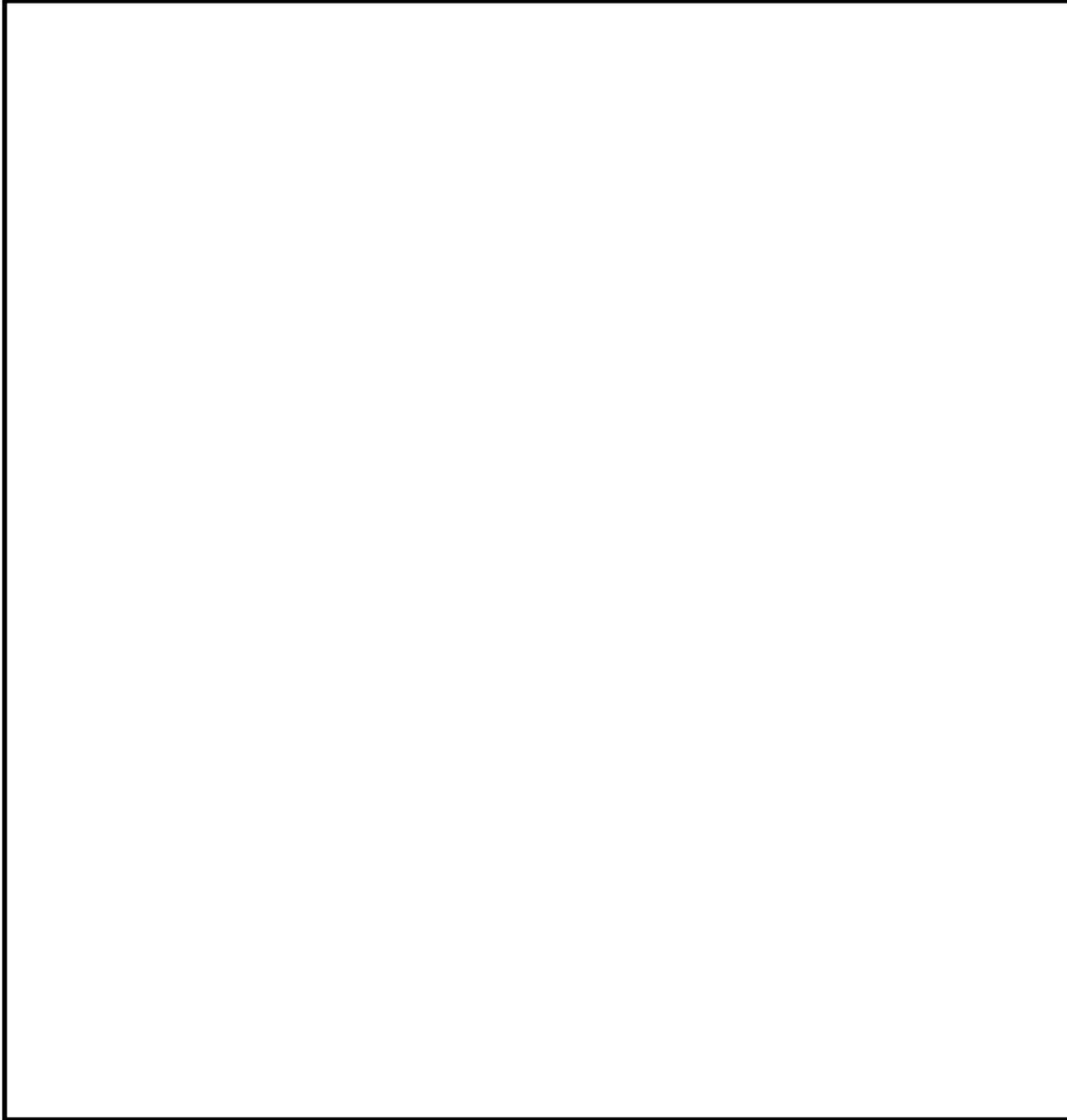
The Undersigned installer/service company representatives, electrical or plumbing contractors attest and verify that rehabilitative repairs and testing have been completed in accordance with Title 44-Chapter 25 Idaho Code:

1. Smoke Detection	_____	_____	_____
	Licensed Installer/Service Co. Representative	Installer/Service Co. License #	Date
2. Egress Windows/Exterior Exit Doors From All Sleeping Areas	_____	_____	_____
	Licensed Installer/Service Co. Representative	Installer/Service Co. License #	Date
3. Fire Protection of Gas Water Heater/ Furnace Compartments	Home is equipped with gas water heater or furnace _____ Yes _____ No		
Verified or Repaired By	_____	_____	_____
	Licensed Installer/Service Co. Representative	Installer/Service Co. License #	Date
4. Gas System Testing/Repairs	Home has gas appliances _____ Yes _____ No		
If Yes, Testing Performed By	_____	_____	_____
	Licensed Installer/Srvc Co.	License #	Date
Repairs (If Required) Made By	_____	_____	_____
	Licensed Installer/Service Co. Representative	License #	Date
5. Electrical System Testing Performed By	_____	_____	_____
	Licensed Electrical Contractor	License #	Date
Repairs (If Required) Made By	_____	_____	_____
	Licensed Electrical Contractor	License #	Permit #
Date			_____
6. Water/DWV System Test Performed BY	_____	_____	_____
	Licensed Plumbing Contractor	License #	Date
Repairs (If Required) Made By	_____	_____	_____
	License Plumbing Contractor	License #	Permit #
Date			_____

HOMEOWNER: _____	HOME SERIAL NO: _____
HOMEOWNER TELEPHONE: _____	
HOMEOWNER ADDRESS: _____	
LOCATION OF HOME AT TIME OF REHABILITATION/TESTING: _____	

RETURN ENTIRE COMPLETED FORM TO ABOVE DIVISION ADDRESS
 Original – Homeowner Yellow – Local Jurisdiction Pink – Idaho Building Division

SITE PLAN



N

Scale



Dimensions of All Property Lines, North Arrow & Scale, Location of Proposed Building(s) and Existing Structures, Building Setback Distances from Property Lines, Distances Between Structures, Location of Well and Septic System and Drain Field, Distances Between Proposed Building(s) Well and Septic System, Location of Existing and/or Proposed Access (Driveway), Sidewalks, Curb & Gutters, Location of Natural Features Such as Canal or River, Location of Ditches, Irrigation Lines, Ponds and/or Equipment, Location of Easements for Water, Sewer, Utilities, Roads, etc., The Name of The Public Road at Access Point (Driveway or Private Road), Other as Required by Administrator

EXAMPLES

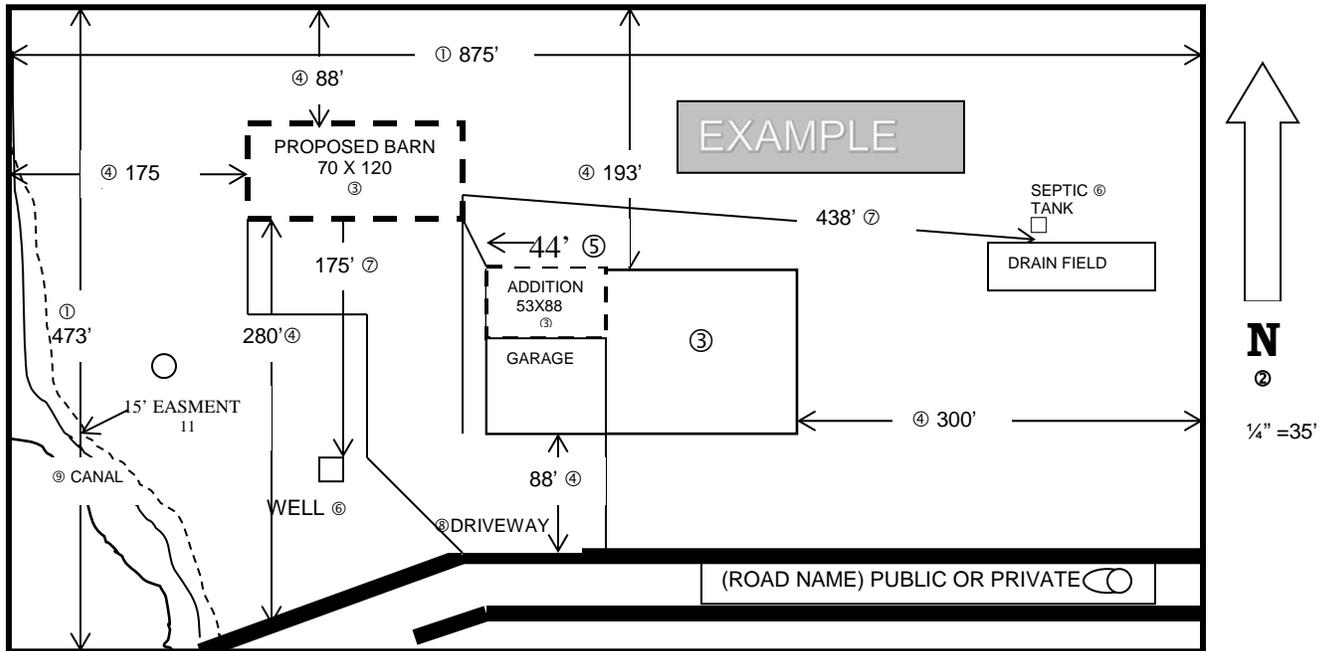
ZONE DESCRIPTIONS

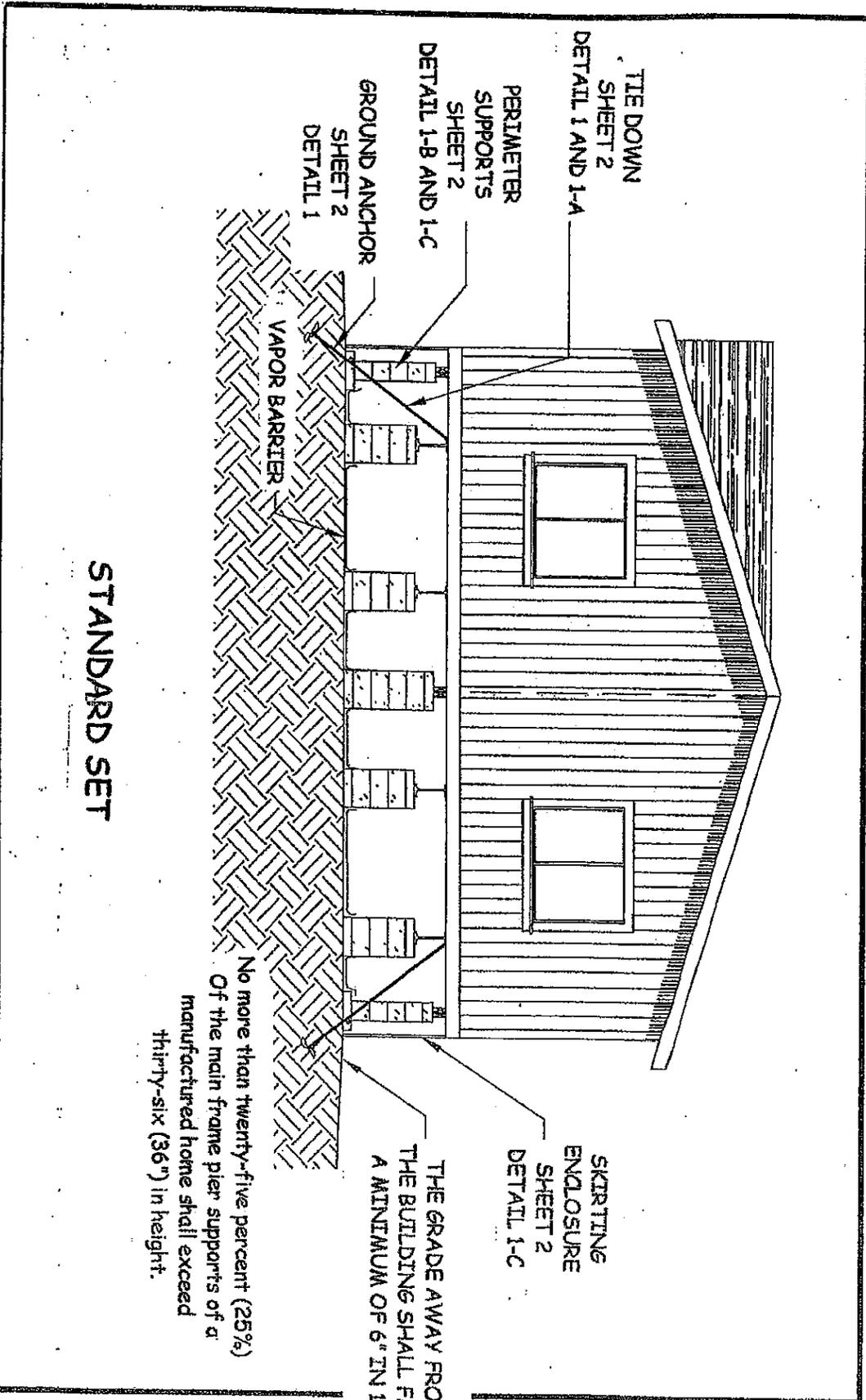
A-1	Agricultural Zone	PR	Preservation Zone
A-2	Agricultural (residential) Zone	IMP	City Impact Area
CG	Commercial, General	AR	Airport Zone
IL	Industrial, Light	CO	Commercial Overlay
IH	Industrial, Heavy		

SITE PLAN

The site plan should be drawn to an acceptable scale, showing the exact dimensions and the shape of the lot to be built upon-

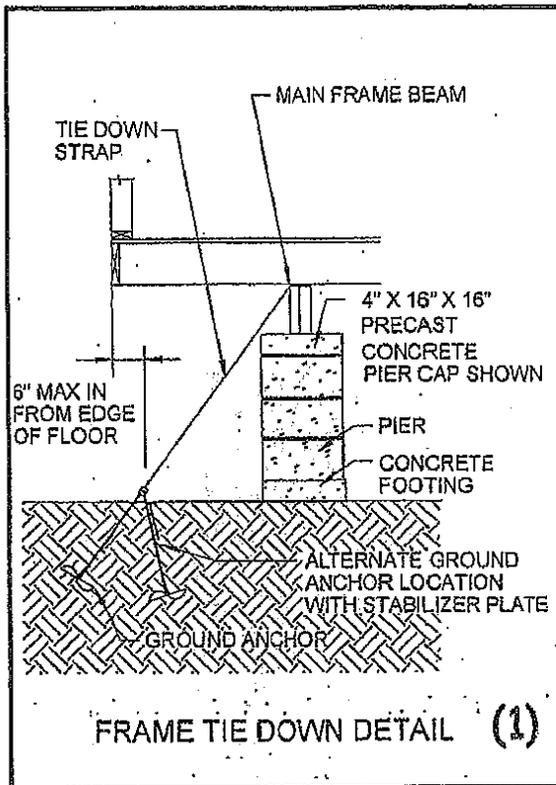
1. Dimensions of All Property Lines
2. North Arrow & Scale
3. Location of Proposed Building(s) and Existing Structures
4. Building Setback Distances from Property Lines
5. Distances Between Structures
6. Location of Well and Septic System and Drain Field
7. Distances Between Proposed Building(s) Well and Septic System
8. Location of Existing and/or Proposed Access (Driveway), Sidewalks, Curb & Gutters
9. Location of Natural Features Such as Canal or River
10. Location of Ditches, Irrigation Lines, Ponds and/or Equipment
11. Location of Easements for Water, Sewer, Utilities, Roads, etc-
12. The Name of The Public Road at Access Point (Driveway or Private Road)
13. Other as Required by Administrator



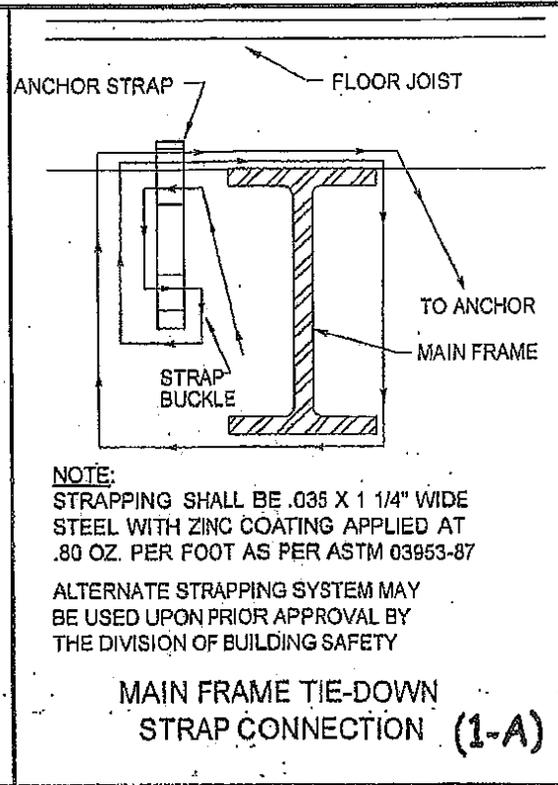


STANDARD SET

No more than twenty-five percent (25%)
Of the main frame pier supports of a
manufactured home shall exceed
thirty-six (36") in height.

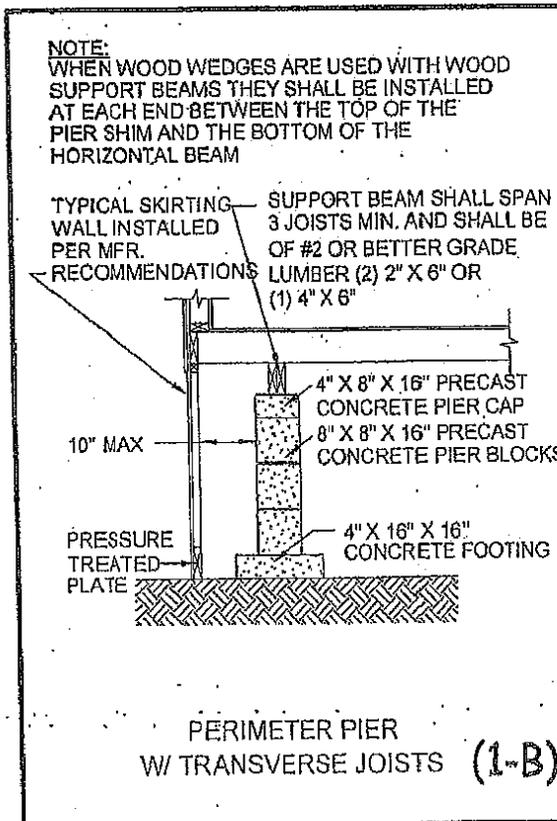


FRAME TIE DOWN DETAIL (1)

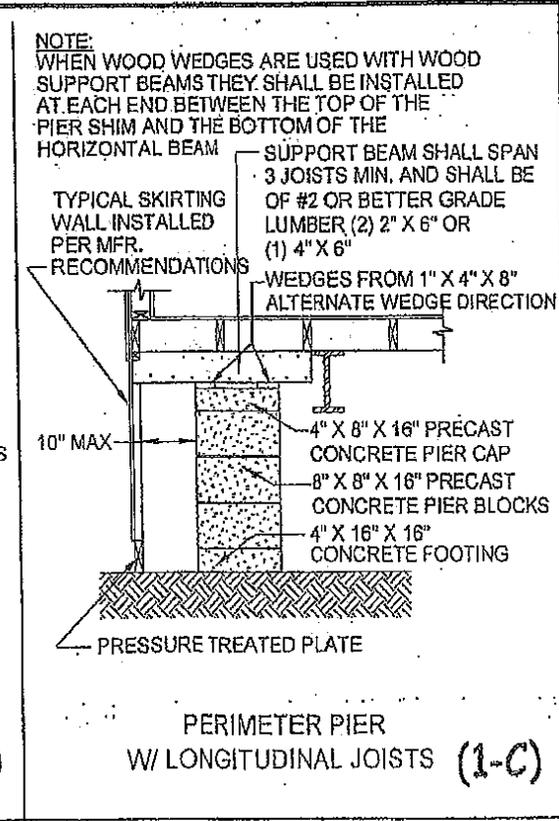


NOTE:
STRAPPING SHALL BE .035 X 1 1/4" WIDE STEEL WITH ZINC COATING APPLIED AT .80 OZ. PER FOOT AS PER ASTM 03953-87
ALTERNATE STRAPPING SYSTEM MAY BE USED UPON PRIOR APPROVAL BY THE DIVISION OF BUILDING SAFETY

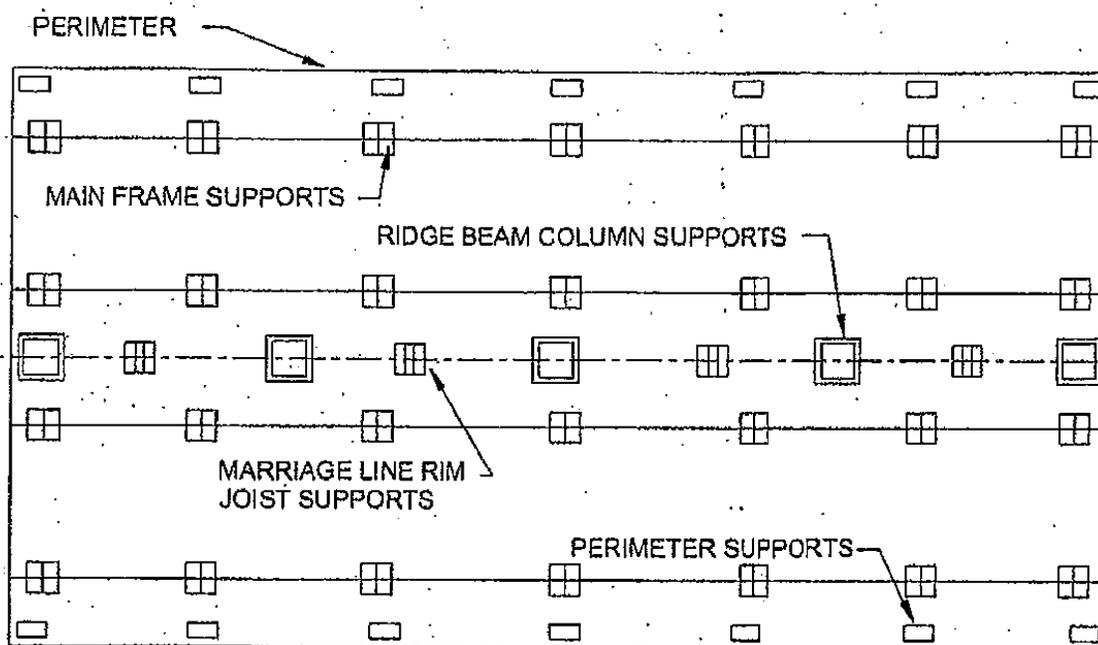
MAIN FRAME TIE-DOWN STRAP CONNECTION (1-A)



PERIMETER PIER W/ TRANSVERSE JOISTS (1-B)



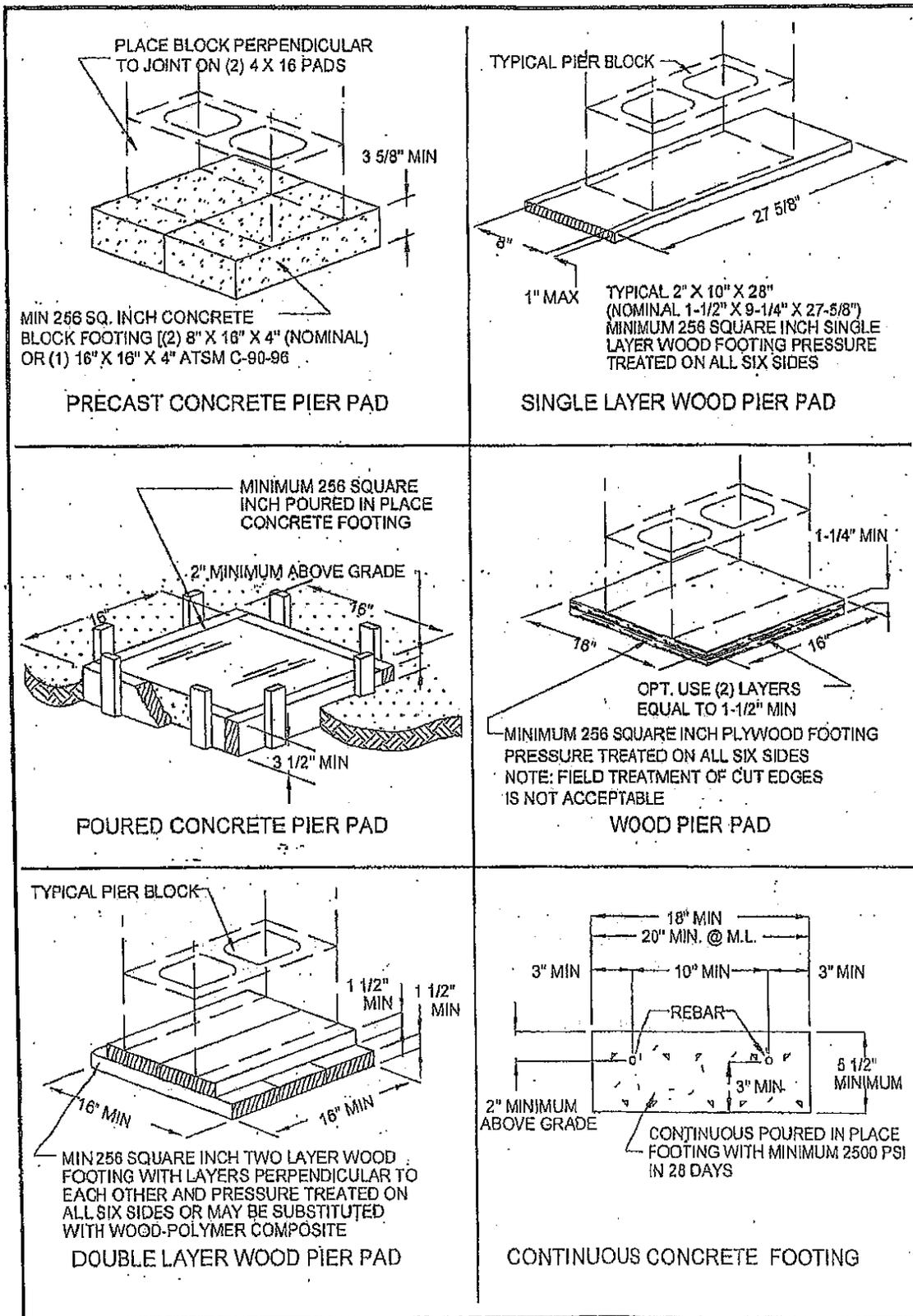
PERIMETER PIER W/ LONGITUDINAL JOISTS (1-C)



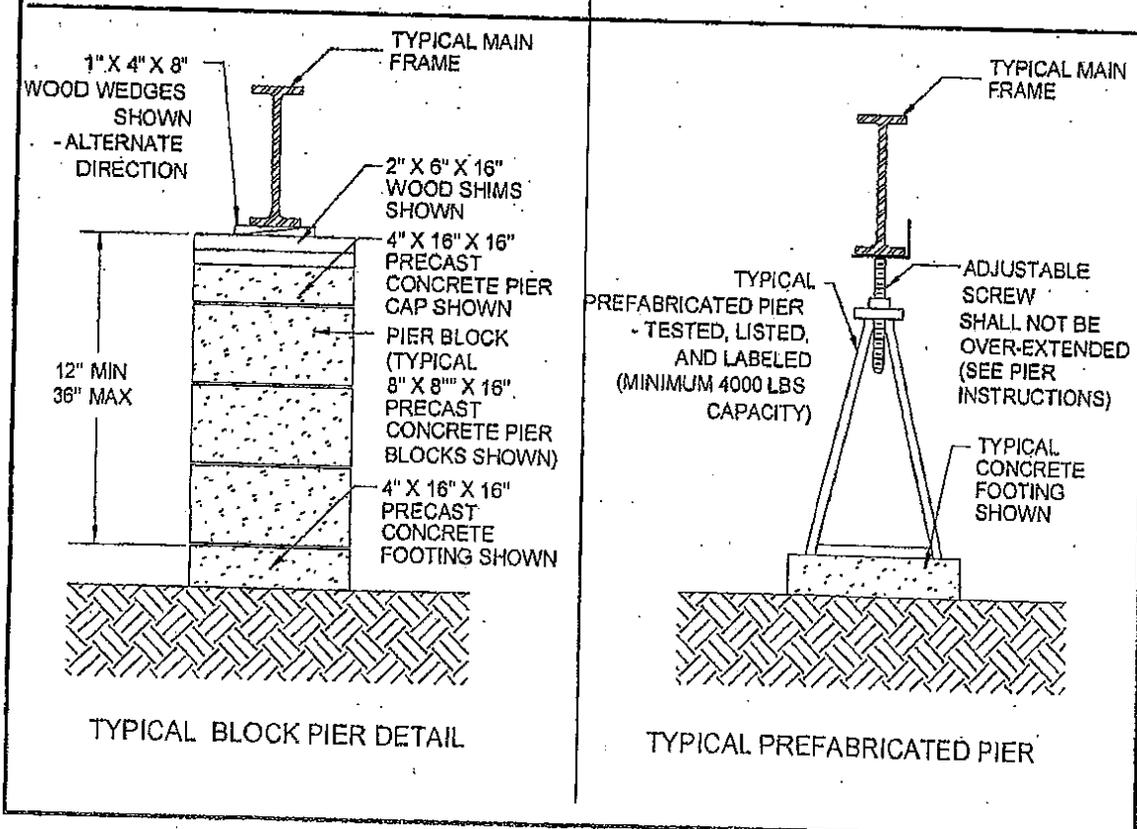
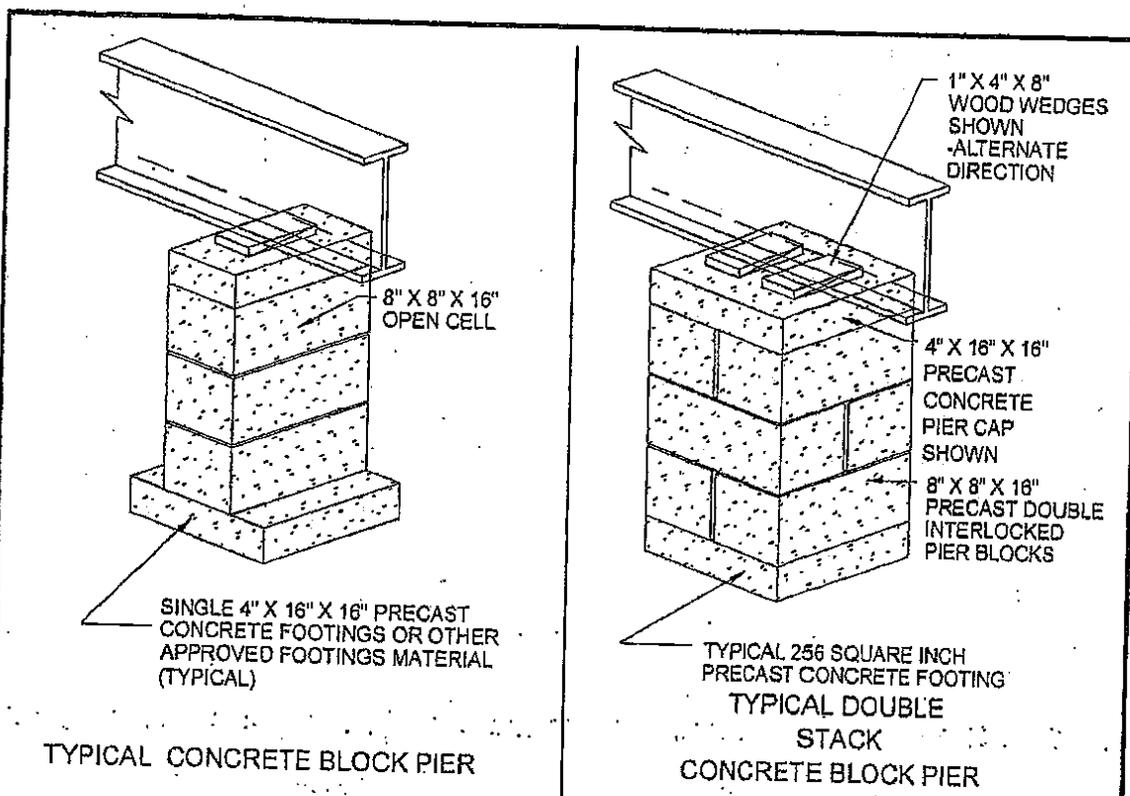
PERIMETER SUPPORTS	LOCATED WITHIN 6 INCHES OF CORNER AND 8 FT O.C. FOR ROOF LOAD UP TO 30 PSF; 6 FT O.C. FOR 40 PSF; 4 FT O.C. FOR 80 PSF; FOUNDATIONS FOR 100 PSF AND OVER
MAIN FRAME SUPPORTS	LOCATED WITHIN 12 INCHES OF EACH END AND 6 FT O.C. FOR ALL ROOF LOADS
RIDGE BEAM SUPPORTS	LOCATED WITHIN 6 INCHES OF EACH END AND AS REQUIRED AND MARKED BY THE MANUFACTURER
MARRIAGE LINE RIM JOIST SUPPORTS	LOCATED 8 FT O.C. FOR ALL ROOF LOADS 30 PSF AND GREATER EXCEPT WHEREVER THERE IS A WALL ABOVE THE MARRIAGE LINE THEN SUPPORTS SHALL BE LOCATED 6 FT O.C. FOR 40 PSF; 4 FT O.C. FOR 60 PSF; 3 FT O.C. FOR 80 PSF; 2 FT O.C. FOR 100 PSF OR OVER.

STANDARD SET SUPPORT SYSTEM

See sheet 4 for Footing Details and Sheet 5 for Pier Details.



FOOTING DETAILS



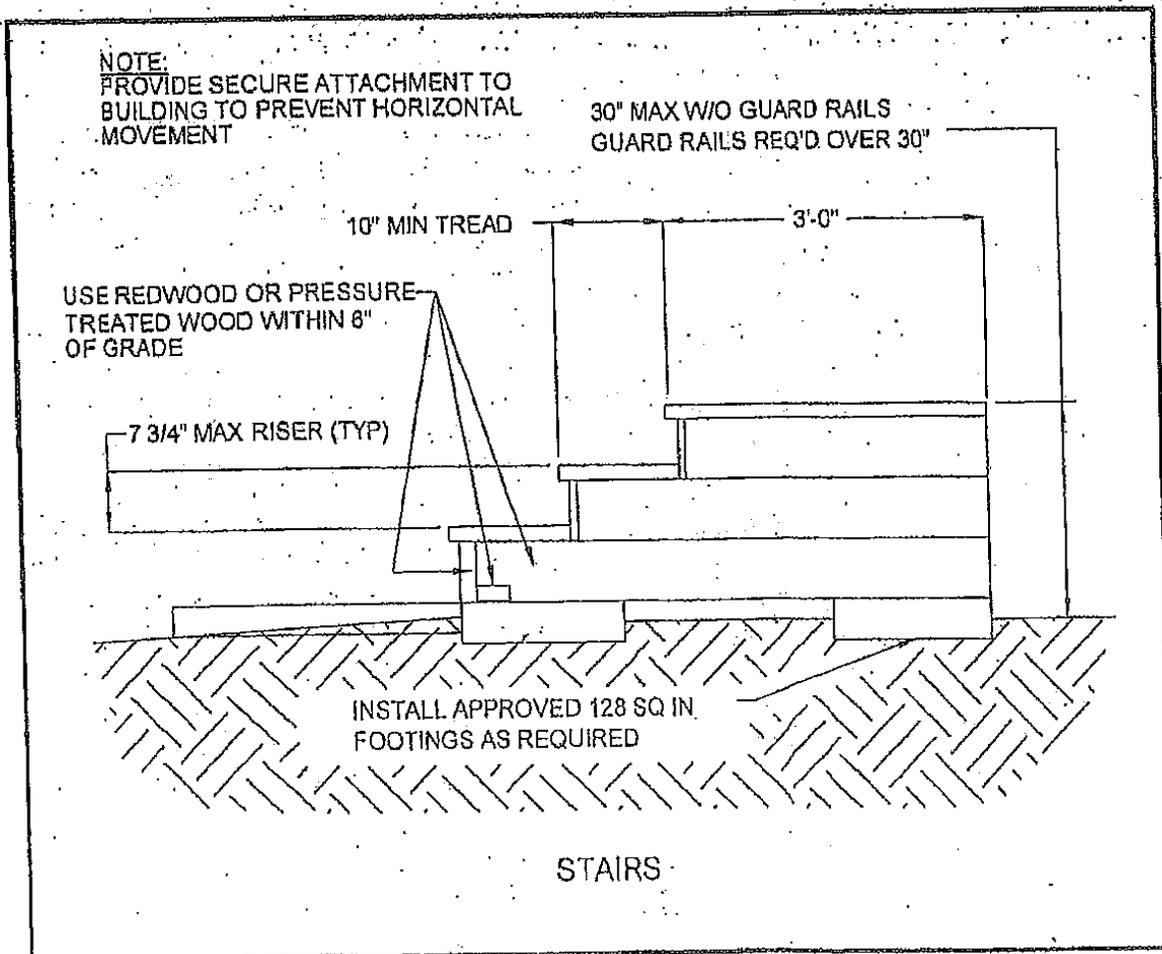
PIER DETAILS

a. Stairs shall be constructed with a minimum thirty-six inch (36") width, seven and three-quarters inch (7¾") maximum tread rise, minimum ten inch (10") tread run, and a minimum thirty-six inch by thirty-six inch (36" x 36") top landing located not more than seven and three-quarters inch (7¾") below the floor of the home. All stairways with four or more risers shall be equipped with a guardrail on at least one side with the top located between thirty-four inches (34") and thirty-eight inches (38") above landings and the nosing of treads. Any stairway with a landing greater than thirty inches (30") above grade must have guard rails.

b. Stairs shall be constructed and cross braced with Number 2 (#2) or better grade lumber. All lumber within six inches (6") of grade shall be redwood or pressure treated.

c. Stairs shall be supported on a minimum of four (4) one hundred twenty-eight (128) square inch footings

**SEE SHEET 4 FOR
FOOTING DETAILS**



Appendix D

FIRE APPARATUS ACCESS ROADS

SECTION D101 GENERAL

D101.1 Scope. Fire apparatus access roads shall be in accordance with this appendix and all other applicable requirements of the *International Fire Code*.

SECTION D102 REQUIRED ACCESS

D102.1 Access and loading. Facilities, buildings or portions of buildings hereafter constructed shall be accessible to fire department apparatus by way of an approved fire apparatus access road with an asphalt, concrete or other approved driving surface capable of supporting the imposed load of fire apparatus weighing at least 75,000 pounds (34 050 kg).

SECTION D103 MINIMUM SPECIFICATIONS

D103.1 Access road width with a hydrant. Where a fire hydrant is located on a fire apparatus access road, the minimum road width shall be 26 feet (7925 mm). See Figure D103.1.

D103.2 Grade. Fire apparatus access roads shall not exceed 10 percent in grade.

Exception: Grades steeper than 10 percent as approved by the fire chief.

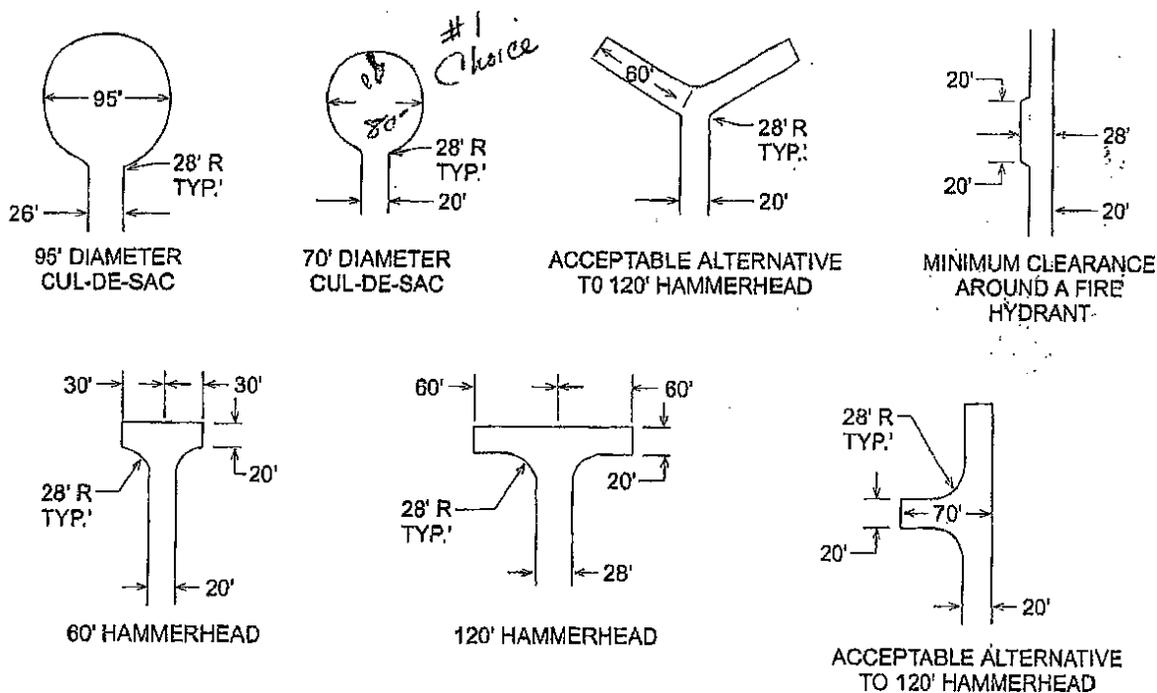
D103.3 Turning radius. The minimum turning radii shall be determined by the code official.

D103.4 Dead ends. Dead-end fire apparatus access roads in excess of 150 feet (45 720 mm) shall be provided with width and turnaround provisions in accordance with Table D103.4.

**TABLE D103.4
REQUIREMENTS FOR DEAD-END FIRE
APPARATUS ACCESS ROADS**

LENGTH (feet)	WIDTH (feet)	TURNAROUNDS REQUIRED
0-150	20	None required
150-500	20	120 feet "Hammerhead," 60 feet "Y" or 96 feet diameter cul-de-sac in accordance with Figure D103.1
501-750	26	120 feet Hammerhead, 60 feet "Y" or 96 feet Diameter cul-de-sac in accordance with Figure D103.1
Over 750	Special approval required	

For SI: 1 foot = 304.8 mm.



For SI: 1 foot = 304.8 mm.

**FIGURE D103.1
DEAD-END FIRE APPARATUS ACCESS ROAD TURNAROUND**

A & B Canal 414 11th St. Rupert PO Box 675, Rupert 83350	208-436-3152	Idaho Transportation Department Div. of Highways 216 South Date Shoshone, ID 83352	208-886-7800
American Falls #2 Reservoir 409 N Apple St, Shoshone 83352	208-886-2331	Div of Aeronautics, State of Idaho Box 7129, Boise 83707-1129	208-334-8775 800-426-4587
Big Wood Canal Co 409 N Apple St, Shoshone 83352	208-886-2331	Idaho Dept. of Water Resources IDWR 650 Addison Ave. W, Ste 500 Twin Falls 83301	208-736-3033 FAX: 208-736-3037
Bureau of Land Management, 400 W F, Shoshone 83352	208-732-7200	Idaho Fish and Game 324 South 417 East Jerome 83338	208-324-4359
		Idaho Power Peggy Rudd 133 Fairfield St. N, Twin Falls 83301	208-736-3236 208-736-3210
DEQ Department of Environmental Quality 650 Addison Ave. W Ste 110 Twin Falls 83301	208-736-2190	Intermountain Gas 451 Alan Dr. Jerome, ID 83338	208-737-6300
Digline 50 S Cole Road, Boise 83709	800-342-1585	Jerome, City of 152 East Ave A, Jerome 83338	208-324-8189
Eden, City of Maria Collins Box 376, Eden 83325	208-825-5776	Jerome County Airport 472 Highway 25, Jerome 83338	208-324-9980
First Segregation Eden, Hazelton/East Side Donald Utt 235 E Wilson Ave, Eden 83325	208-825-5776	Jerome County Building Dept. Inspections & Permits 300 N. Lincoln Room 307 Jerome 83338	208-324-9262 FAX: 208-324-9263
First Segregation City Fire 235 E Wilson Ave, Eden 83325	208-825-5725	Jerome County Planning & Zoning 300 N Lincoln Room 307, Jerome 83338	208-324-9116 FAX: 208-324-9263
Hazelton City Hall, JoAnn Wolf, 246 Main St. P.O. Box 145, Hazelton 83335 Eugene Brown	208-829-5415 208-829-4033 (public works)	Jerome County Zoning Compliance Shawn Denham	208-644-2790
Hillsdale Highway Dept. Keith Mills. P O BOX 265, Hazelton 83335	208-829-5449	Jerome Highway District 30 N 100 W, Jerome 83338	208-324-4601 FAX: 208-324-6891
Idaho Dept. of Agriculture, Beef Operation Bryan Bartholomew	208-736-3075 208-539-1351	Jerome Historical Society	208-733-2336
ID Dept. of AG Dairy Bureau Mike Wiggs 2270 Old Penitentiary Rd Niki Holder Boise, ID 83712 Brooke Leguineche BOX 790 Boise, ID 83702 Tracy Williams Lynne Godfrey Kari Brown	208-731-0578 208-369-8600 208-358-0081 208-731-2859 208-731-0496 208-731-3493	State Historical Preservation Office 210 Main St, Boise, ID 83702	208-334-3861
University of Idaho Dairy Waste Management Specialist Mireille Chahine 315 Falls Ave/PO Box 1827 Twin Falls 83303	208-736-3600	Jerome Rural Fire Dept. 143 East Ave A, Jerome 83338 Joe Robinette, Chief Larry Robbins, Assistant Chief	208-324-7468 208-420-8382 208-539-3078
Idaho Dept. of Agriculture, Odor Complaints	208-332-8550 866-433-0497	Jerome School District 125 4th Ave W, Jerome 83338	208-324-2392
Idaho Dept. of Lands 324 S. 417 E Jerome, 83338 Meri Beth Lomkin	208-324-2561	Jerome Sewer and Water District Roy Prescott 110 N 800 E Jerome, 83338	208-280-2163
		Milner Irrigation District 5294 E 3610 N, Murtaugh 83344	208-432-5560
		North Side Canal Co 921 N Lincoln, Jerome 83338	208-324-2319
		Postmaster Eden Hazelton Jerome Paul	208-825-5089 208-829-5451 208-324-5381 208-438-2222

ELECTRICAL & PLUMBING APPLICATIONS, INSPECTIONS & PERMITS

State Electrical and Plumbing Inspection Service
800-955-3044

MECHANICAL PERMITS AND INSPECTIONS

Jerome County Building Department
208-324-9262

Sircomm John Moore 911 East Ave H Jerome 83338	208-324-1911	Times News PO Box 548 Twin Falls ID 83303 Ruby Aufderheide	208-733-0931 208-735-3324
South Central Public Health Dept 951 East Ave H (septic) - Bill Beck Jerome 83338 Twin Falls Office Daycare Licensing	208-324-8838 ext- 2616 FAX: 208-324-9554 208-734-5900 211 or 800-926-2588	Valley High School 882 Valley Rd S Hazelton, ID 83335	208-829-5353
Southern Idaho Solid Waste District 1178 HWY 25 Jerome, ID 83338	208-825-4150	West End Fire Department: Randy Sutton Box 94, Paul, ID 83347	208-438-4511 FAX: 208-438-2551